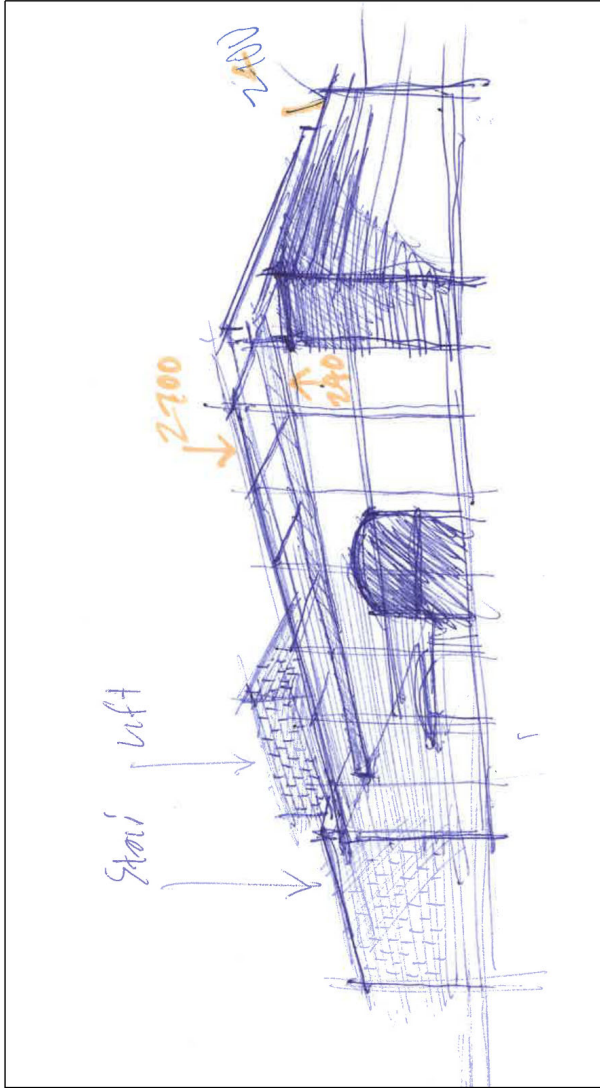


Attachment A

Selected Drawings



DEVELOPMENT APPLICATION PROPOSAL FOR NO. 11/10 ONSLOW AVENUE, ELIZABETH BAY

LIST OF DRAWINGS

DATE	REVISION	TITLE
14/06/2018	DA-A	SKETCH DESIGN ISSUE
06/10/2018	DA-A	SKETCH DESIGN ISSUE
07/08/2019	DA-A	DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]
13/06/2019	DA-A	DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B	DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

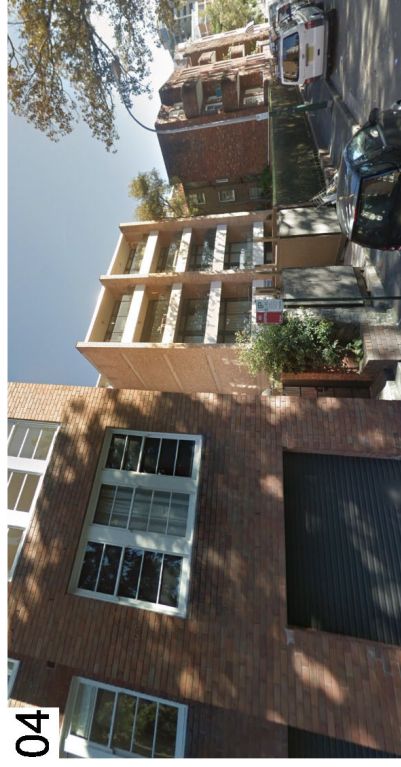
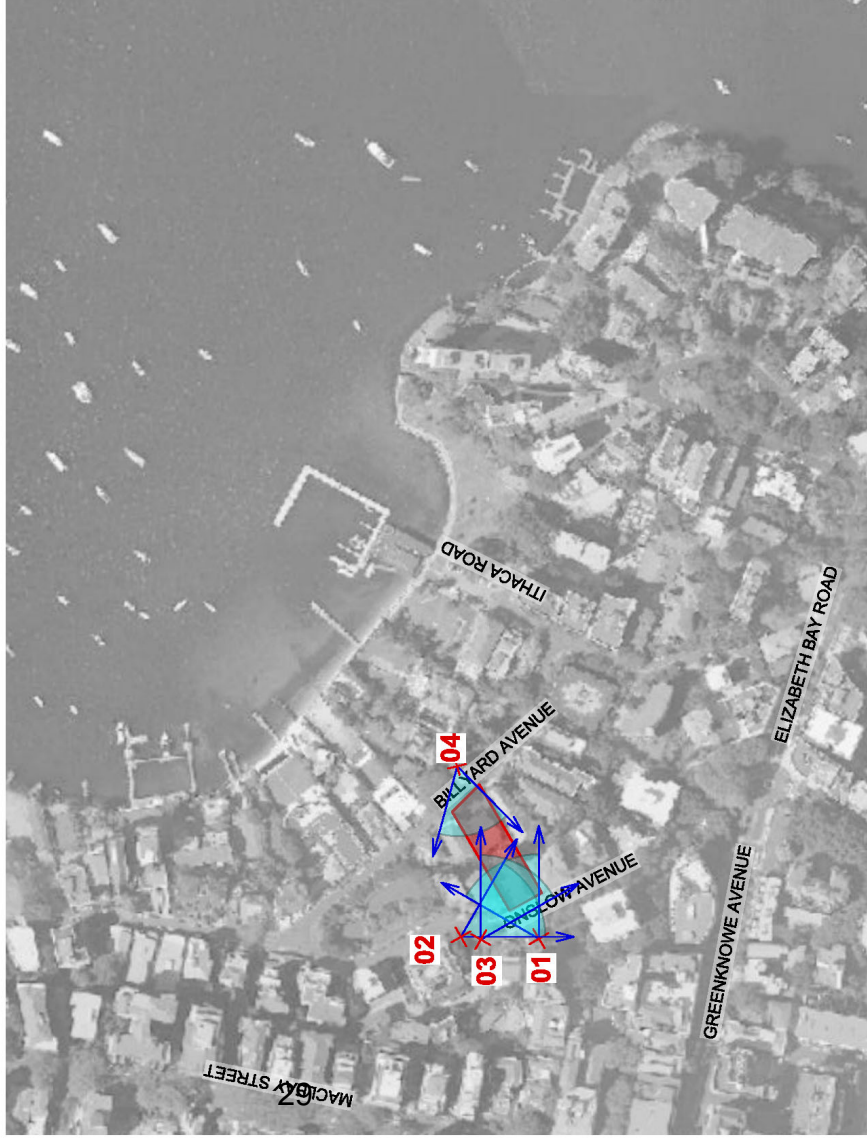
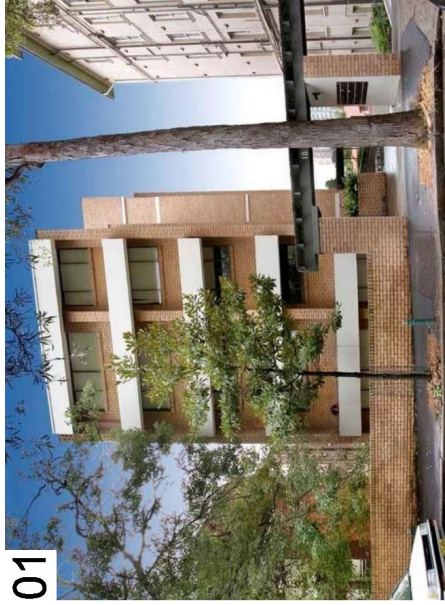
DATE	REVISION	TITLE
DA-B	601	DESIGN CONCEPT & DEVELOPMENT
DA-B	602	DESIGN CONCEPT & DEVELOPMENT
DA-B	603	MATERIALS & FINISHES
DA-B	701	STREET VIEW ANALYSIS
DA-B	801	SHADOWS MID-WINTER
DA-B	802	MID-WINTER VIEW FROM THE SUN 0900
DA-B	803	MID-WINTER VIEW FROM THE SUN 1000-1100
DA-B	804	MID-WINTER VIEW FROM THE SUN 1200-1300
DA-B	805	MID-WINTER VIEW FROM THE SUN 1400-1500
DA-B	901	SHADOWS EQUINOX
DA-B	902	EQUINOX VIEW FROM THE SUN 0900
DA-B	903	EQUINOX VIEW FROM THE SUN 1000-1100
DA-B	904	EQUINOX VIEW FROM THE SUN 1200-1300
DA-B	905	EQUINOX VIEW FROM THE SUN 1400-1500

DATE	REVISION	TITLE
DA-B	001	CONTEXT IDENTIFICATION PLAN
DA-B	002	SITE ANALYSIS PLAN
DA-B	003	SITE PLAN
DA-B	004	EXISTING UNIT PLAN
DA-B	101	UNIT 11 FLOOR PLAN
DA-B	102	PENTHOUSE FLOOR PLAN
DA-B	103	ROOF PLAN
DA-B	201	ELEVATION EAST & WEST
DA-B	202	ELEVATION NORTH
DA-B	203	ELEVATION SOUTH
DA-B	204	DETAIL ELEVATIONS
DA-B	301	CROSS SECTION
DA-B	401	AREAS SCHEDULE

ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARCHITECT	DA 000 ISSUE B
ARBN 55 100 940 501 New South Wales NSW Architects Registration No. 5962	sw:01 external louvreblind (adjustable) sw:02 external louvreblind (adjustable) sw:03 external louvreblind (adjustable) sw:04 external louvreblind (adjustable)	TITLE PROJECT ADDRESS STAGE CLIENT SCALE	ALTS & ADDS TO EXISTING APARTMENT UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY DEVELOPMENT APPLICATION MR. PATRICK LANE [CL/H/C]
156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellorgan.com.au	NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be read in conjunction with other consultants drawings and reports. All work is based on the information provided to us by the client. We are not liable for any errors or omissions on this drawing.	DATE REVISION	DATE REVISION

VIEWS

- 01 Elevational view of the subject site, looking from across the street along Onslow Avenue.
- 02 Streetview perspective looking in a southerly direction along Onslow Avenue, with the subject site evident on the left of the image.
- 03 Streetview approach to the site along Onslow Avenue, looking upward toward the building.
- 04 Streetview approach in a northerly direction looking at the Billyard Avenue entry to the subject site.



ARCHITECT



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BASIX / MATHERS CERTIFICATION

sw01 | external louvreblind (adjustable)
sw02 | external louvreblind (adjustable)
NE01 | external louvreblind (adjustable)

NOTES

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All views are based on current information and are subject to change without notice.

DATE REVISION

14/06/2018	DA-A SKETCH DESIGN ISSUE
06/10/2018	DA-A SKETCH DESIGN ISSUE
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI


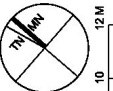
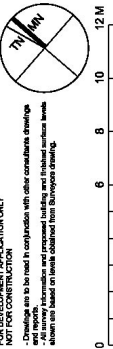
TITLE CONTEXT IDENTIFICATION PLAN

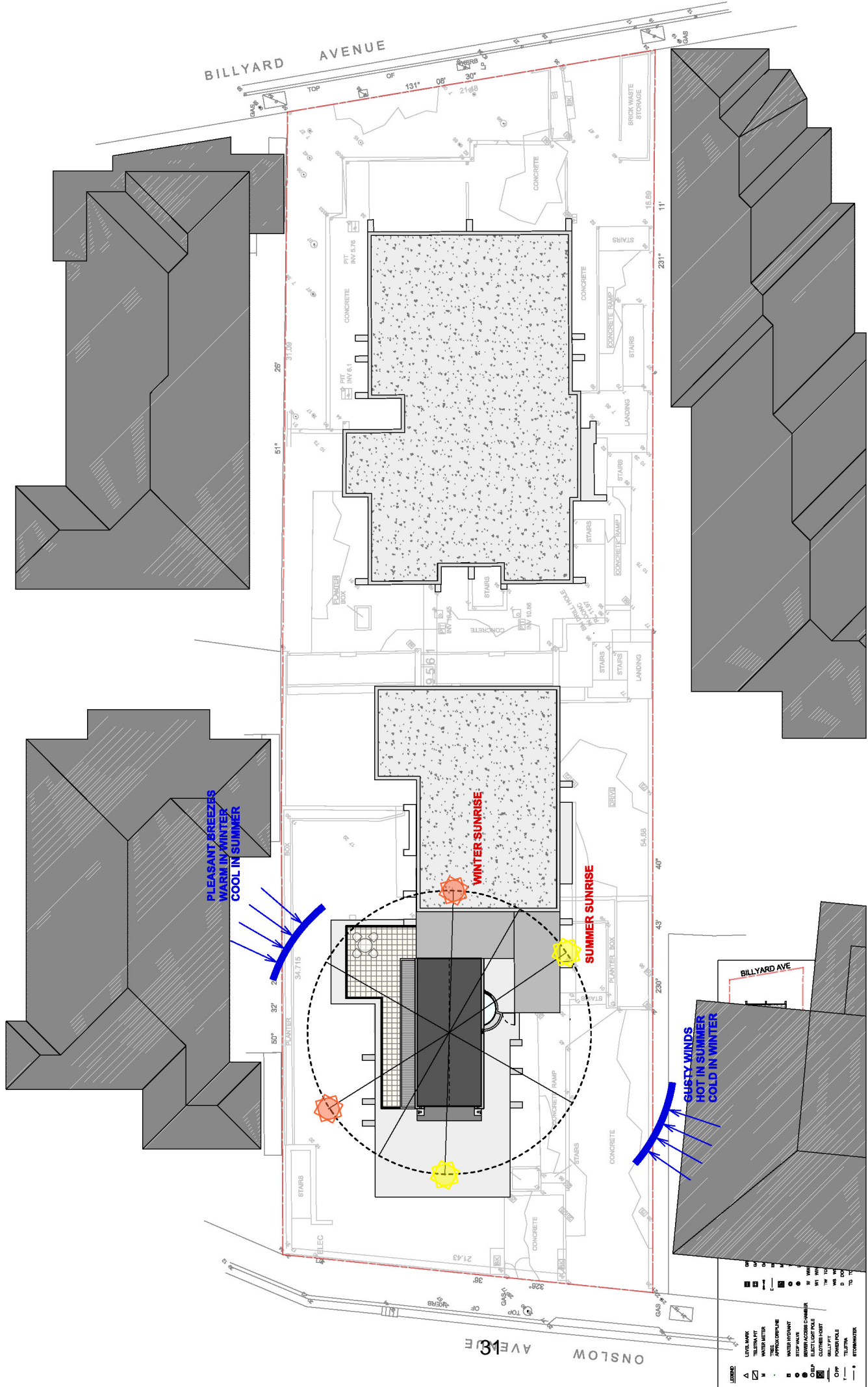
PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
STAGE	DEVELOPMENT APPLICATION
CLIENT	MR. PATRICK LANE
SCALE	THIS PAGE IS NOT TO SCALE DRAWN BY [CLJ/HC]

DA
001

ISSUE
B



 CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARN 55 100 940 501 New South Wales NSW Architects Registration No. 5983	BASIX / MATHERS CERTIFICATION SW01 external louvreblind (adjustable) SW02 external louvreblind (adjustable) SW03 external louvreblind (adjustable)	NOTES FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This plan is to be read in conjunction with other construction drawings and reports. All work is based on the latest contract form. Dimensions shown.	DATE REVISION 14/06/2018 DA-A SKETCH DESIGN ISSUE 08/10/2018 DA-A SKETCH DESIGN ISSUE 07/03/2019 DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE] 13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	TITLE SITE IDENTIFICATION PLAN PROJECT ALTS & ADDS TO EXISTING APARTMENT ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY STAGE DEVELOPMENT APPLICATION CLIENT MR. PATRICK LANE	DA 002 ISSUE B
	156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au	SCALE 1:200 @A3, 1:100@A1 DRAWN BY [CL/JC]				



- ▲ LEVEL MARK
- TELETRA PIT
- ▣ WATER METER
- ▢ APPROX CURBLINE
- WATER POINT/VALVE
- SETBACK
- SETBACK CHAMBER
- ELECT LIGHT POLE
- TELEPHONE
- GULLY PIT
- POWER POLE
- TELETRA
- STORMWATER

CRACKNELL & LONERGAN
ARCHITECTS PTY LTD

AR 155 100 940 501
Newcastle Area based firm
NSW Architects Registration No. 5983

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ARCHITECT

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NOT FOR CONSTRUCTION

Notes: This report is to be read in conjunction with other consultants drawings and reports. All works are based on the latest information from the relevant authorities.

BASEX / MATTERS CERTIFICATION

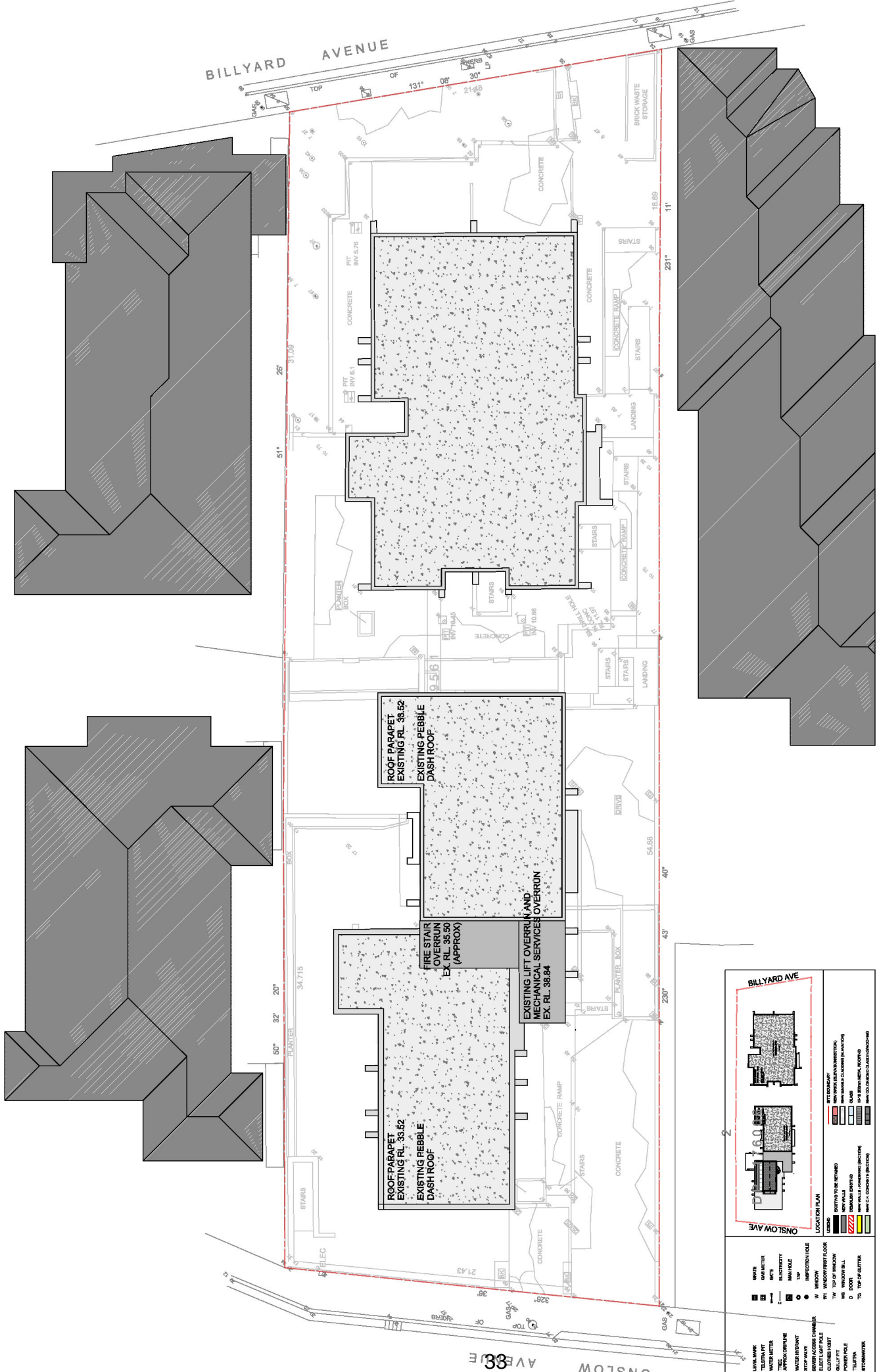
sw01 | external louvreblind (adjustable)
sw02 | external louvreblind (adjustable)
NE01 | external louvreblind (adjustable)

DATE	REVISION	TITLE	SITE ANALYSIS PLAN
14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
08/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	DEVELOPMENT APPLICATION
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	MR. PATRICK LANE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	1:200 @A3, 1:100@A1

DA
003

ISSUE
B

DRAWN BY [CLJHC]



DATE	REVISION	TITLE	EXISTING ROOF PLAN
14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
08/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	DEVELOPMENT APPLICATION
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	MR. PATRICK LANE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	1:200 @A3, 1:100@A1

DATE	REVISION	TITLE	EXISTING ROOF PLAN
14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
08/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	DEVELOPMENT APPLICATION
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	MR. PATRICK LANE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	1:200 @A3, 1:100@A1

NOTES

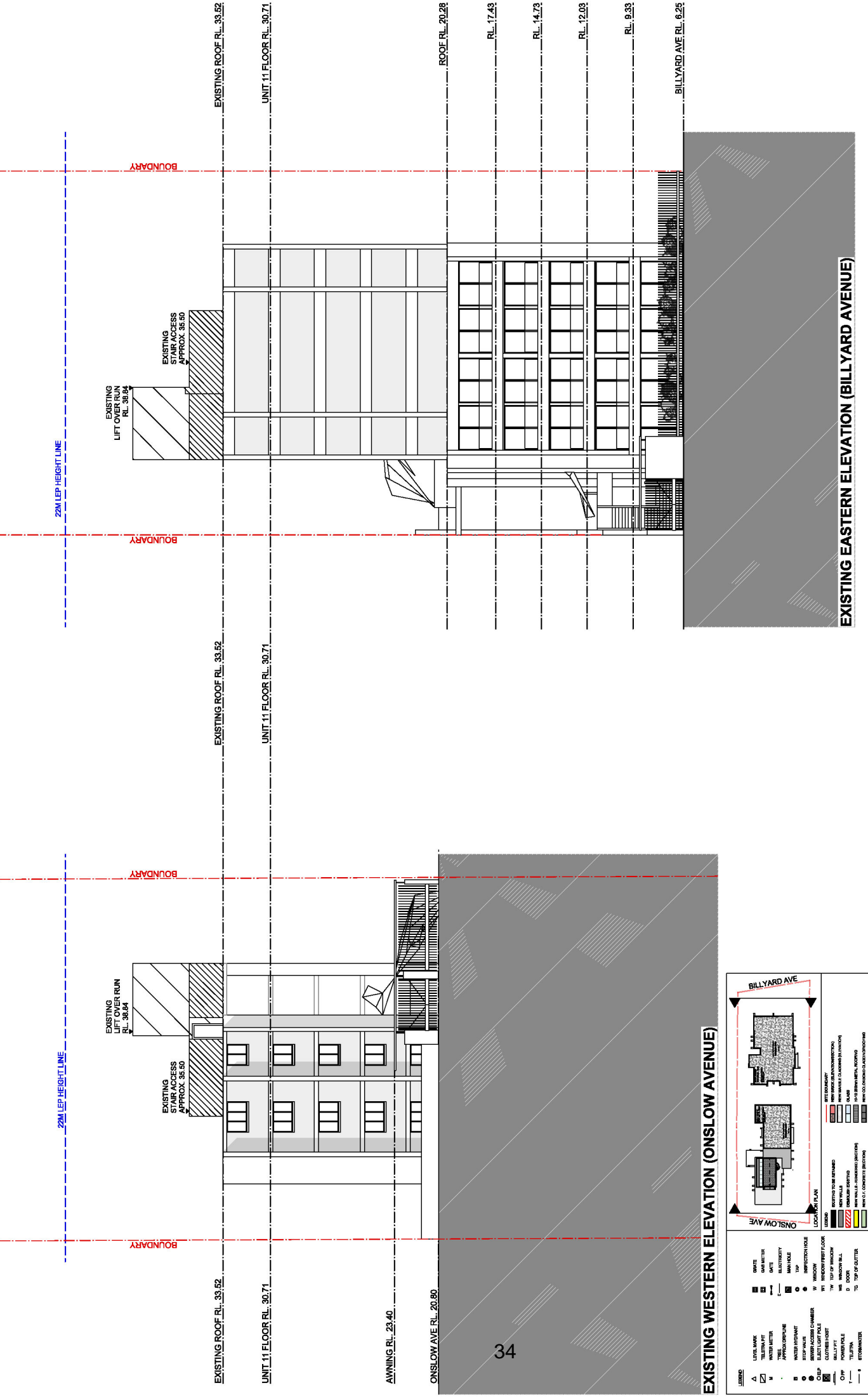
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CRACKNELL & LONERGAN ARCHITECTS PTY LTD
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CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ARCHITECT

NSW 01 | NSW 02 | NSW 03 | NSW 04 | NSW 05 | NSW 06 | NSW 07 | NSW 08 | NSW 09 | NSW 10 | NSW 11 | NSW 12 | NSW 13 | NSW 14 | NSW 15 | NSW 16 | NSW 17 | NSW 18 | NSW 19 | NSW 20 | NSW 21 | NSW 22 | NSW 23 | NSW 24 | NSW 25 | NSW 26 | NSW 27 | NSW 28 | NSW 29 | NSW 30 | NSW 31 | NSW 32 | NSW 33 | NSW 34 | NSW 35 | NSW 36 | NSW 37 | NSW 38 | NSW 39 | NSW 40 | NSW 41 | NSW 42 | NSW 43 | NSW 44 | NSW 45 | NSW 46 | NSW 47 | NSW 48 | NSW 49 | NSW 50 | NSW 51 | NSW 52 | NSW 53 | NSW 54 | NSW 55 | NSW 56 | NSW 57 | NSW 58 | NSW 59 | NSW 60 | NSW 61 | NSW 62 | NSW 63 | NSW 64 | NSW 65 | NSW 66 | NSW 67 | NSW 68 | NSW 69 | NSW 70 | NSW 71 | NSW 72 | NSW 73 | NSW 74 | NSW 75 | NSW 76 | NSW 77 | NSW 78 | NSW 79 | NSW 80 | NSW 81 | NSW 82 | NSW 83 | NSW 84 | NSW 85 | NSW 86 | NSW 87 | NSW 88 | NSW 89 | NSW 90 | NSW 91 | NSW 92 | NSW 93 | NSW 94 | NSW 95 | NSW 96 | NSW 97 | NSW 98 | NSW 99 | NSW 100



EXISTING WESTERN ELEVATION (ONSLow AVENUE)

LEGEND

- ▲ LEVEL MARK
- TELETRA FIT
- WATER METER
- GATE
- ELECTRICITY
- TELEPHONE/COAXIAL
- MAN HOLE
- WATER PIPING
- STUP VALVE
- BRICK ACCESS CHAMBER
- ELECTRIC LIGHT PULL
- DUMP
- GULLY PIT
- POWER POLE
- TELETRA
- STOPWATCH

NOTES TO BE RETURNED

- ▲ NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION

LOCAL PLAN

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NEWTON NSW 2042
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email@cracknellonergan.com.au

NSW ARCHITECTS CERTIFICATION

SW101 | external louvreblind (adjustable)
 SW102 | external louvreblind (adjustable)
 SW103 | external louvreblind (adjustable)
 SW104 | external louvreblind (adjustable)
 SW105 | external louvreblind (adjustable)

EXISTING EASTERN ELEVATION (BILLYYARD AVENUE)

LEGEND

- ▲ LEVEL MARK
- TELETRA FIT
- WATER METER
- GATE
- ELECTRICITY
- TELEPHONE/COAXIAL
- MAN HOLE
- WATER PIPING
- STUP VALVE
- BRICK ACCESS CHAMBER
- ELECTRIC LIGHT PULL
- DUMP
- GULLY PIT
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- TELETRA
- STOPWATCH

NOTES TO BE RETURNED

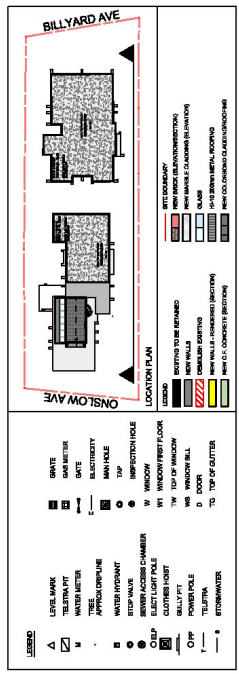
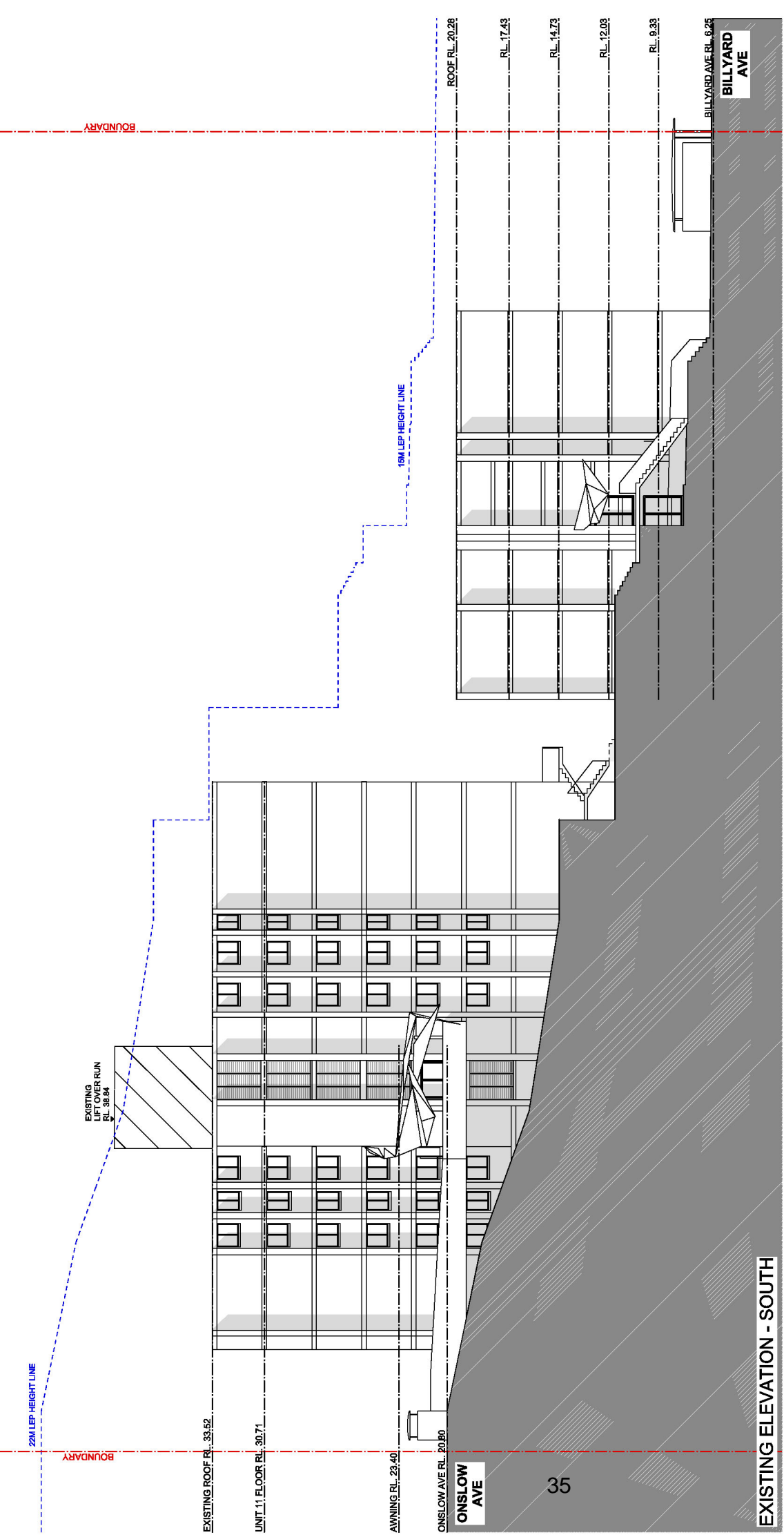
- ▲ NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION
- NEW WORK ELEMENTS/DIRECTION

LOCAL PLAN

ARCHITECT		CRACKNELL & LONERGAN ARCHITECTS PTY LTD	
156A CHURCH STREET NEWTON NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au		NSW ARCHITECTS CERTIFICATION	
SW101 external louvreblind (adjustable)		SW102 external louvreblind (adjustable)	
SW103 external louvreblind (adjustable)		SW104 external louvreblind (adjustable)	
SW105 external louvreblind (adjustable)		SW106 external louvreblind (adjustable)	
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SW197 external louvreblind (adjustable)		SW198 external louvreblind (adjustable)	
SW199 external louvreblind (adjustable)		SW200 external louvreblind (adjustable)	

REVISION	DATE	TITLE
14/06/2018	DA-A SKETCH DESIGN ISSUE	EXISTING BUILDING ELEVATION EAST & WEST
08/10/2018	DA-A SKETCH DESIGN ISSUE	PROJECT ALTS & ADDS TO EXISTING APARTMENT
07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	ADDRESS UNIT 11, 10 ONSLow AVE, ELIZABETH BAY
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	STAGE DEVELOPMENT APPLICATION
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT MR. PATRICK LANE
		SCALE 1:200 @A3, 1:100@A1
		DRAWN BY [CLJ/HC]

DA 006	ISSUE B
REVISION	



DA	007	EXISTING BUILDING ELEVATION SOUTH	REVISION	DATE	TITLE	ISSUE
		ALTS & ADDS TO EXISTING APARTMENT	14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	B
		UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	06/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	
		DEVELOPMENT APPLICATION	07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	
		MR. PATRICK LANE	13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	
		1:200 @A3, 1:100@A1	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	
					DRAWN BY	[CL/JHC]

NOTES	FOR DEVELOPMENT APPLICATION ONLY
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Drawings based on latest contract form. Do not contract.	

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
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Newcastle Architecture Pty Ltd (NSW) NSW Architects Registration No. 5993 (NSW02) internal louvreblind (adjustable)
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2.1M LEAP HEIGHT LINE

BOUNDARY

EXISTING ROOF RL. 33.52

UNIT 4 FLOOR RL. 30.71

ONSLOW AVE RL. 20.80

ONSLOW AVE

ORIGINAL LIFT OVER RAIL RL. 34.8

EXISTING STAIR ACCESS APPROX. 35.50

1.9M LEAP HEIGHT LINE

ROOF RL. 20.28

RL. 17.43

RL. 14.73

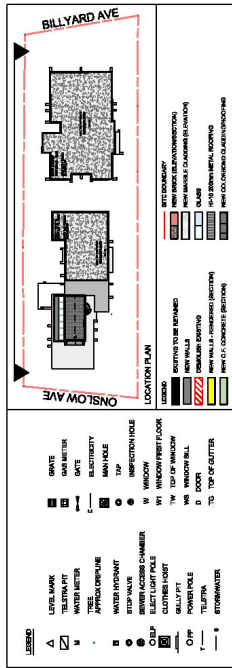
RL. 12.03

RL. 9.33

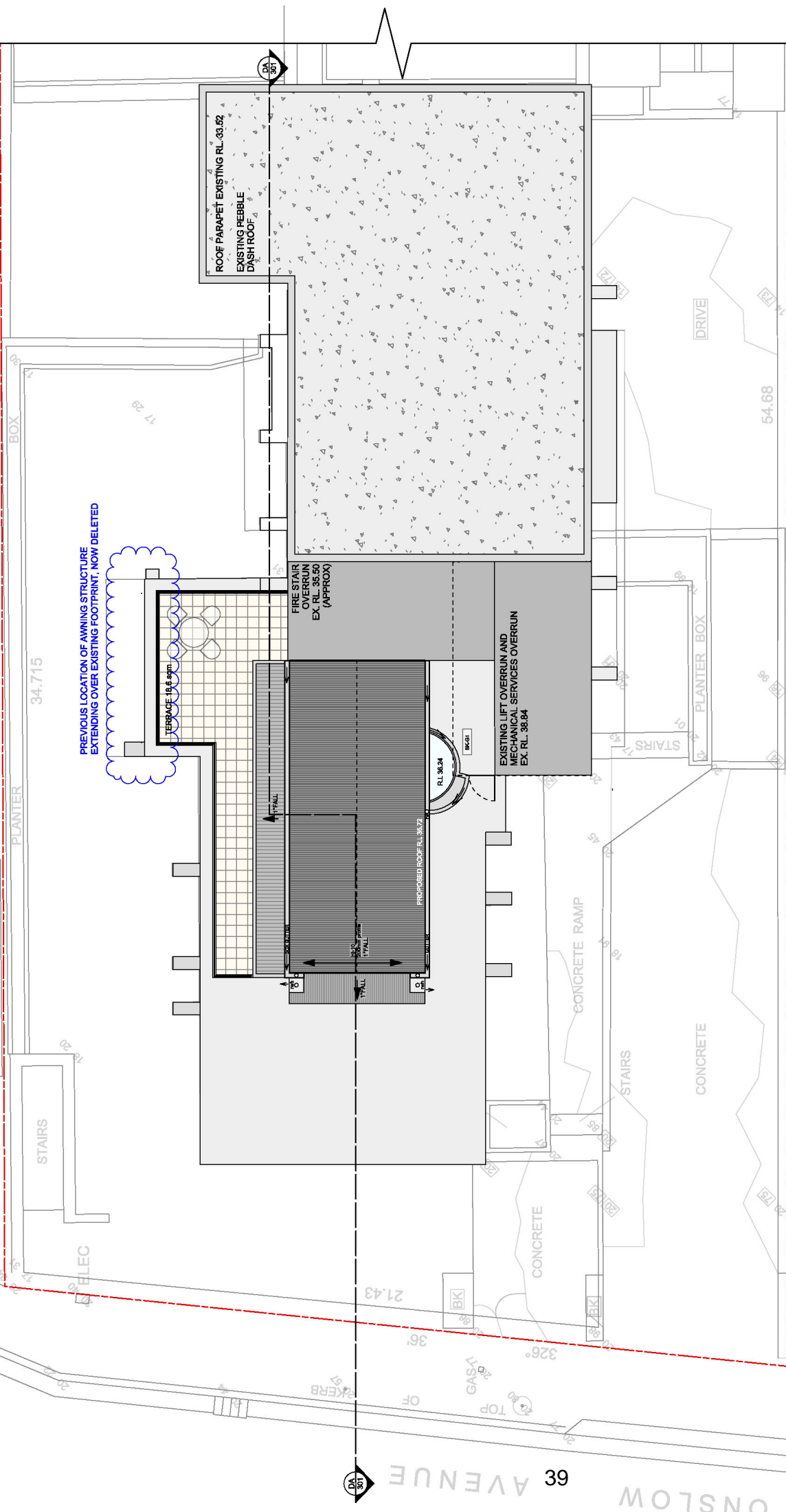
BILLYYARD AVE RL. 6.25

BILLYYARD AVE

EXISTING ELEVATION - NORTH



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	ARN 55 100 940 501 SW-01 external louvreblind (adjustable) Northcott Architects Pty Ltd NW-02 external louvreblind (adjustable) NSW Architects Registration No. 5893 NS-03 external louvreblind (adjustable)	ARCHITECT NEWTOWN NSW 2042 156A CHURCH STREET PHONE +61 2 9565 1554 email@cracknellonerGAN.com.au	
	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other consultants drawings and reports. It is not to be used for any other purpose without the consent of the architects. All work is based on current information and drawings of the site shown are based on latest information from the relevant authorities.		
	NOTES DATE REVISION 14/06/2018 DA-A SKETCH DESIGN ISSUE 06/10/2018 DA-A SKETCH DESIGN ISSUE 07/03/2019 DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE] 13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	REVISION DATE REVISION 14/06/2018 DA-A SKETCH DESIGN ISSUE 06/10/2018 DA-A SKETCH DESIGN ISSUE 07/03/2019 DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE] 13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	EXISTING BUILDING ELEVATION NORTH TITLE PROJECT ALTS & ADDS TO EXISTING APARTMENT ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY STAGE DEVELOPMENT APPLICATION CLIENT MR. PATRICK LANE SCALE 1:200 @A3, 1:100@A1 DRAWN BY [CL/JC]
	LEGEND LEVEL MARK GRAVE TELETYPE PIT GYM METRE WATER METRE GATE ELECTRICAL ELECTRICITY APPROX. OUPPLANE MAIN FLOOR WATER POINT WATER POINT STAIR VALVE STAIR VALVE SINK SINK BARRIER ACCESS CHAMBER BARRIER ACCESS CHAMBER ELECTRIC LIGHT RACK ELECTRIC LIGHT RACK SCOPED AREA SCOPED AREA TYP TYP POWER POLE POWER POLE TELETYPE TELETYPE RIVERWATER RIVERWATER INT. EXTERIOR INT. EXTERIOR EXTERIOR EXTERIOR INTERIOR INTERIOR GLASS GLASS GLASS CURTAIN WALL GLASS CURTAIN WALL CONCRETE CONCRETE METAL METAL METAL ROOFING METAL ROOFING CLADDING CLADDING	LOCATION PLAN INT. EXTERIOR EXTERIOR TO BE RETAINED EXISTING TO BE RETAINED NEW WALL (CLADDING/ROOFING) NEW WALL (INTERNAL FLOORING) NEW WALL (EXTERNAL FLOORING) NEW GLASS CURTAIN WALL	REVISION DATE REVISION 14/06/2018 DA-A SKETCH DESIGN ISSUE 06/10/2018 DA-A SKETCH DESIGN ISSUE 07/03/2019 DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE] 13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI



LEGEND

- ▲ LEVEL MARK
- GAS METER
- WATER METER
- GATE
- ELECTRICITY
- AIR CONDITIONER
- MECHANICAL
- WATER PIPING
- STEP
- WATER PIPING
- WATER ACCESS CHAMBER
- ELECTRICITY METER
- ELECTRICITY METER
- GULLY PIT
- GULLY PIT
- POWER POLE
- TELEPHONE
- STOPWATER

LOCATION PLAN

BILLIYARD AVE
ONSLAW AVE

BASIC / MATTERS CERTIFICATION

END EXTERIOR
 NEW PAVED (CONCRETE/ASPHALT)
 NEW WALLS CLASSED (CONCRETE)
 NEW EXTERIOR FINISHING (CONCRETE)
 NEW EXTERIOR CLADDING (CONCRETE)

EXTERIOR TO BE REPAIRED
 NEW PAVED (CONCRETE/ASPHALT)
 NEW WALLS CLASSED (CONCRETE)
 NEW EXTERIOR FINISHING (CONCRETE)

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

1. Dimensions are to be read in conjunction with other consultants drawings and reports.

2. All dimensions are based on ground conditions from the proposed plans.

CRACKNELL & LONERGAN ARCHITECTS PTY LTD

AR 15004 507 | NSW 15004 507 | NSW 15004 507

NSW Architects Registration No. 5983

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CRACKNELL & LONERGAN ARCHITECTS PTY LTD

DA 103

REVISION

DATE	REVISION
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

TITLE ROOF PLAN

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:100 @A3, 1:50 @A1

ISSUE C

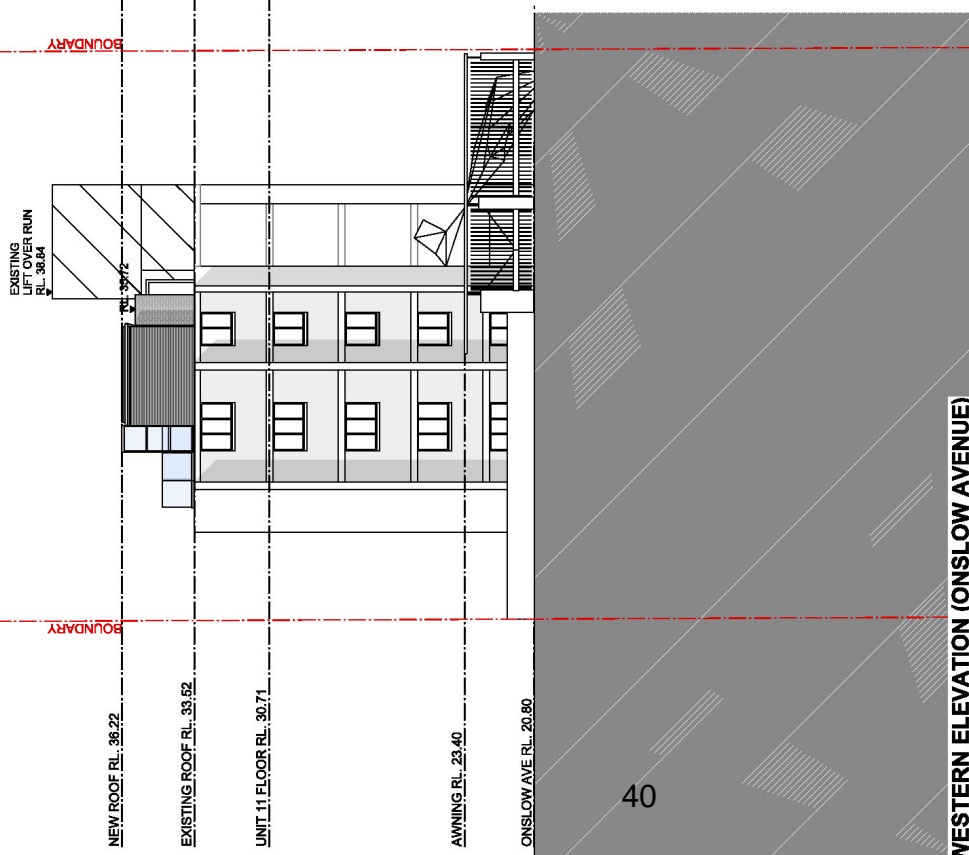
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DP 176006

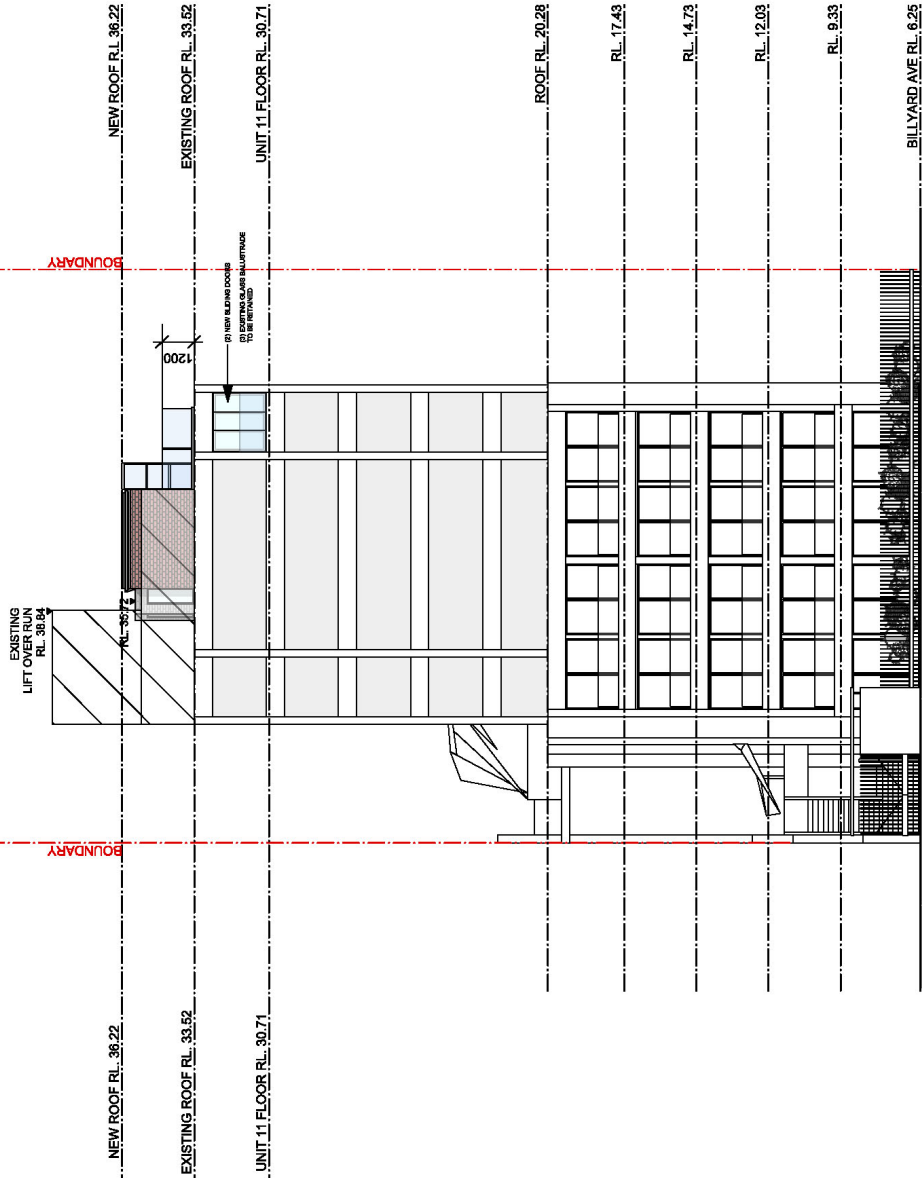
SP 67057

22M LEP HEIGHT LINE

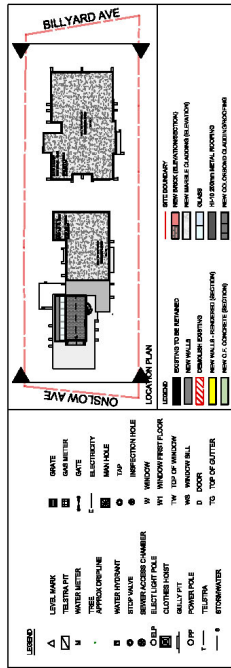
22M LEP HEIGHT LINE



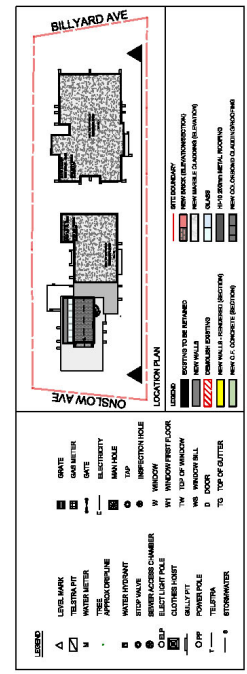
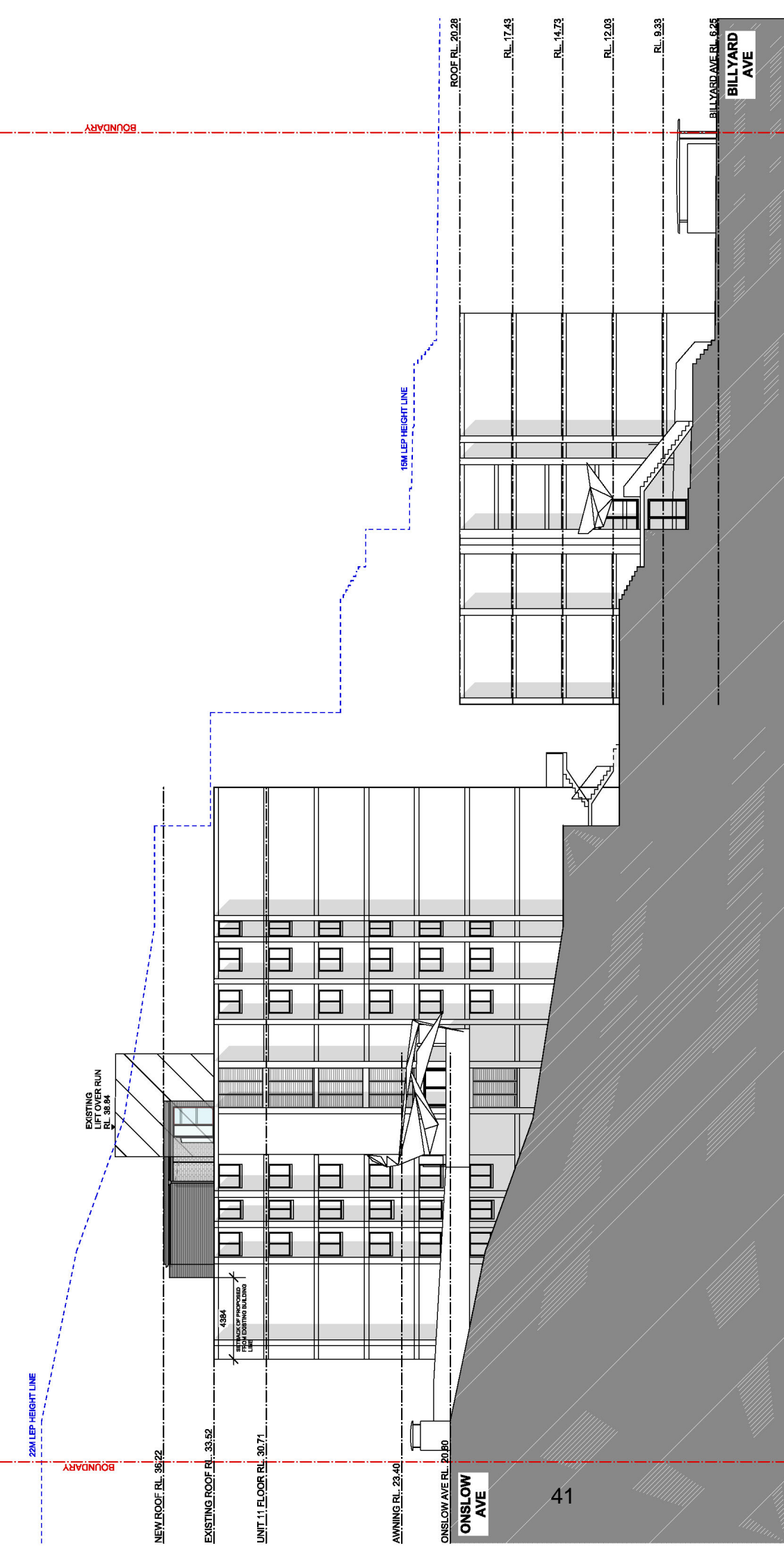
WESTERN ELEVATION (ONSLOW AVENUE)



EASTERN ELEVATION (BILLYARD AVENUE)



ARCHITECT		BASIX / MATTERS CERTIFICATION		NOTES		DATE		REVISION		TITLE		ELEVATIONS EAST AND WEST	
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au		ARN 55 100 940 501 New South Wales NSW Architects Registration No. 5982		SW01 external louvreblind (adjustable) SW02 external louvreblind (adjustable) NW02 external louvreblind (adjustable) NE02 external louvreblind (adjustable)		FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This report is to be read in conjunction with other consultants drawings and reports. All work is based on latest information from Council officials.		07/03/2019 DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE) 13/06/2019 DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE 22/10/2019 DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI 13/01/2019 DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		PROJECT ALTS & ADDS TO EXISTING APARTMENT ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY STAGE DEVELOPMENT APPLICATION CLIENT MR. PATRICK LANE		DA 201 ISSUE C	
		SCALE 1:200 @A3, 1:100@A1										DRAWN BY [CL/JC]	



DA 202	ISSUE C	TITLE	ELEVATION SOUTH
		PROJECT	ALTS & ADDS TO EXISTING APARTMENT
ADDRESS		UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	
STAGE		DEVELOPMENT APPLICATION	
CLIENT		MR. PATRICK LANE	
SCALE		1:200 @A3, 1:100@A1	DRAWN BY [CL/JC]
DATE	REVISION	NOTES	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be read in conjunction with other consultants drawings and reports. Wherever based on third party information, the user must verify the accuracy of the information.
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)		
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE		
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI		

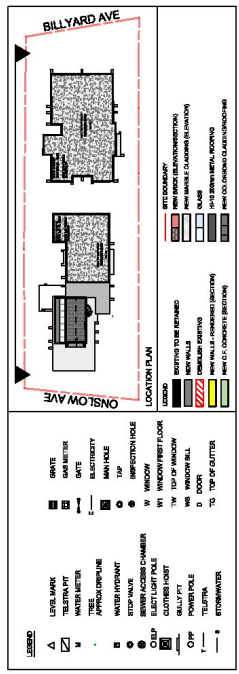
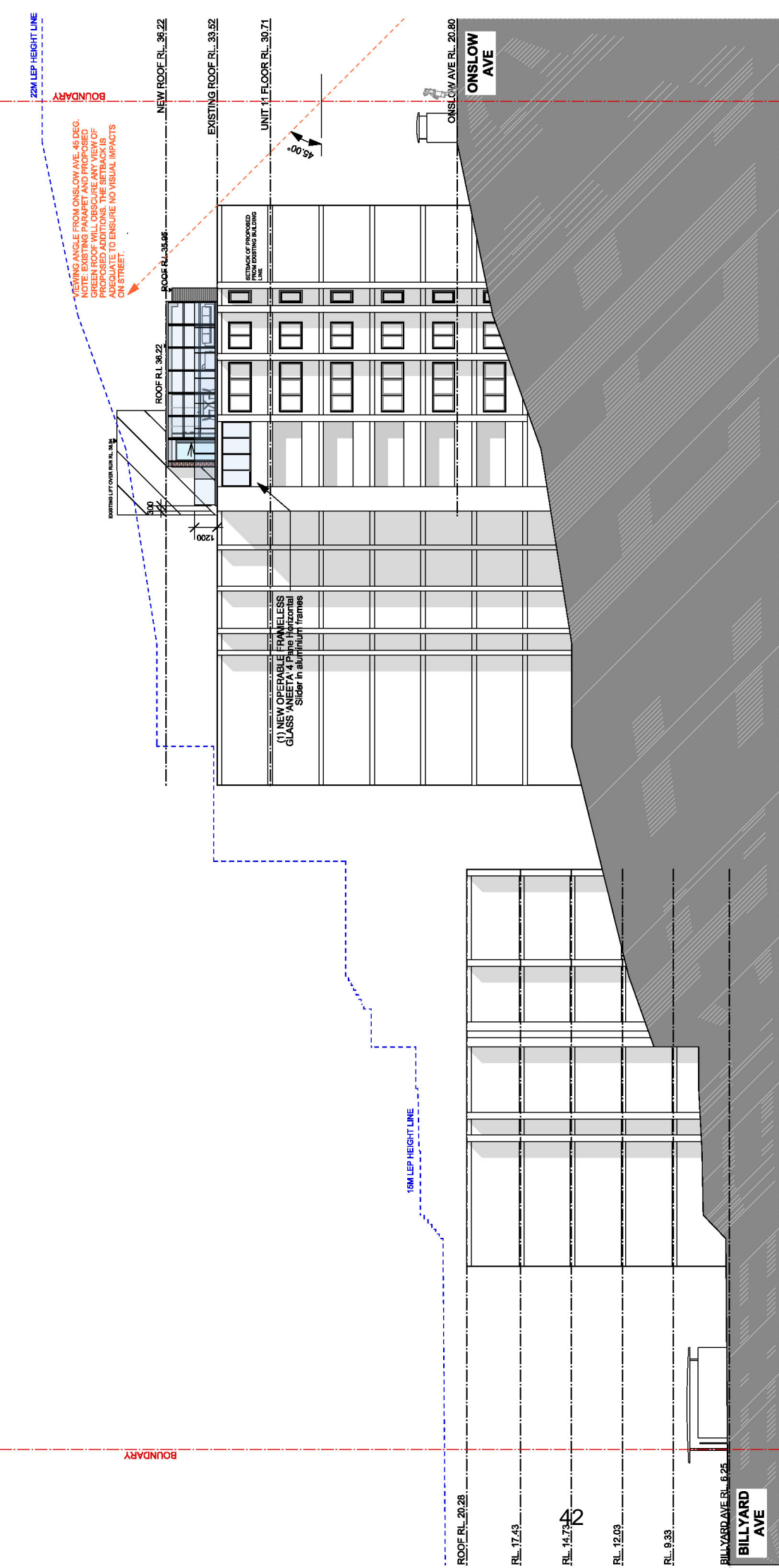
CRACKNELL & LONERGAN ARCHITECTS PTY LTD

ABN 55 100 940 501
Newcastle Area Office
NSW Architects Registration No. 5993

156A CHURCH STREET
NEWTOWN NSW 2042
PHONE +61 2 9565 1654
email@cracknellorgan.com.au

BASIX / MATERS CERTIFICATION

- external louvreblind (adjustable)
- external louvreblind (adjustable)
- external louvreblind (adjustable)
- external louvreblind (adjustable)



DATE	REVISION	TITLE	ELEVATION NORTH
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

ISSUE	SCALE	DRAWN BY
C	1:200 @A3, 1:100@A1	[CL/JC]

NOTES

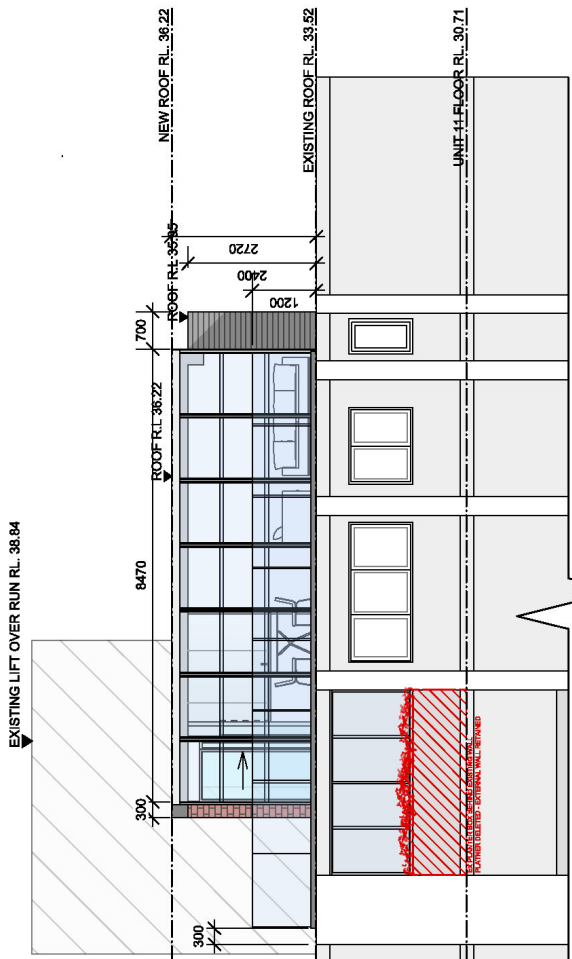
FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Drawings are to be read in conjunction with other consultants drawings and reports.

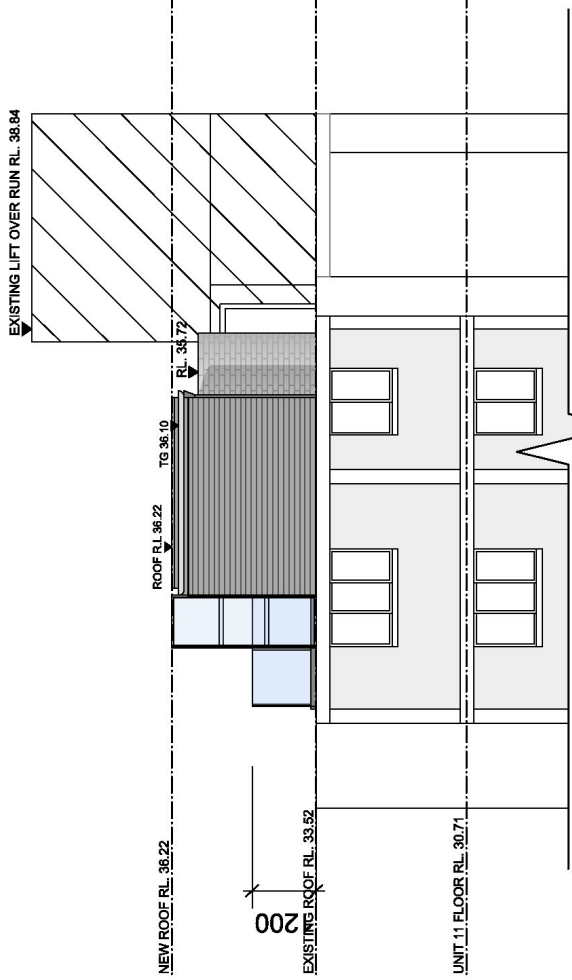
Drawings are based on latest contract form. Drawings are subject to change without notice.

CRACKNELL & LONERGAN ARCHITECTS PTY LTD
 ARB No. 55 100 940 501 | SW-01 | external louvreblind (adjustable)
 NSW Architects Registration No. 5993 | NSW-02 | external louvreblind (adjustable)
 NSW Architects Registration No. 5993 | NSW-03 | external louvreblind (adjustable)
 NSW Architects Registration No. 5993 | NSW-04 | external louvreblind (adjustable)

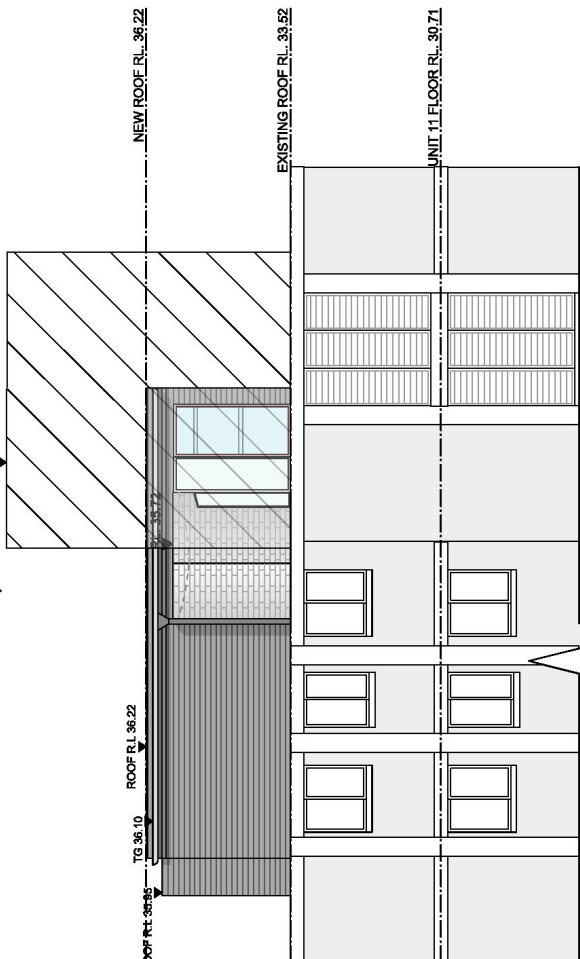
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 email@cracknellonergan.com.au



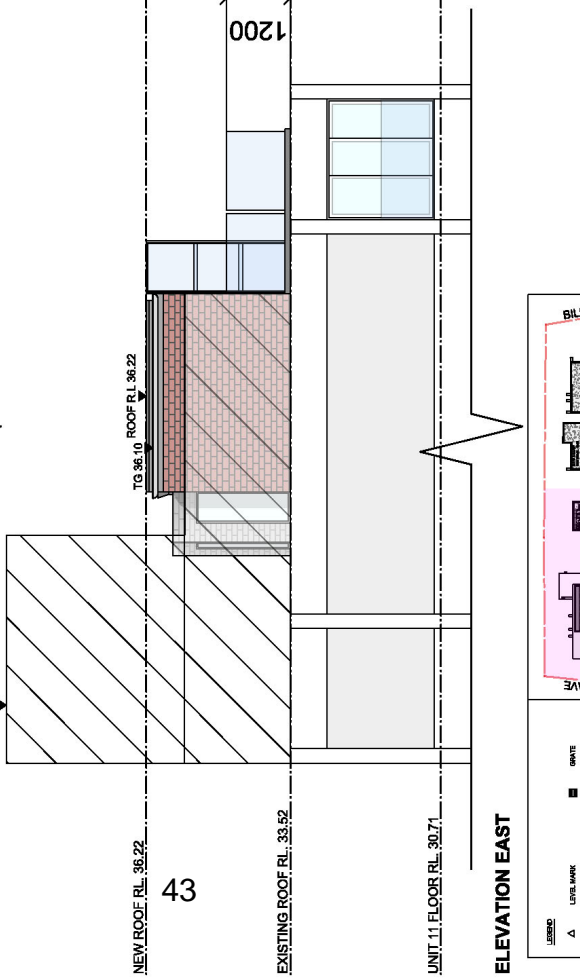
ELEVATION NORTH



ELEVATION WEST



ELEVATION SOUTH



ELEVATION EAST

43

LEGEND ▲ LEVEL MARK □ TELETRA FIT ○ WATER METER ● ELECTRICAL ○ AIR CONDITIONING ○ GAS METER ○ WATER POINTS ○ STEEL VALVE ○ RIFTER ACCESS CHAMBER ○ ELECT LIGHT RIG ○ CUP ○ BALL PIT ○ TELETRA ○ DOWNWATER	■ GRATE ■ GYM METRE ■ GATE ■ ELECTRICITY ■ APPROX EXPOSURE ■ MAIN FLOOR ■ WATER POINTS ■ STEEL VALVE ■ RIFTER ACCESS CHAMBER ■ ELECT LIGHT RIG ■ CUP ■ BALL PIT ■ TELETRA ■ DOWNWATER	○ IMPREGATION HOLE ○ WINDOW ○ WINDOW FIRST FLOOR ○ TOP OF WINDOW ○ WINDOW SILL ○ WINDOW FRAME ○ TO TOP OF GUTTER	LOCATION PLAN ONSLOW AVE BILLYARD AVE ■ SITE BOUNDARY ■ NEW WORK (ELEVATION ONLY) ■ EXISTING CLASHES (EXCLUSIONS) ■ EXISTING METAL ROOFING ■ NEW GLASS CURTAIN WALL ■ NEW GLASS CURTAIN WALL (EXTENSION)
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CRACKNELL & LONERGAN ARCHITECTS PTY LTD

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ARCHITECT

NOTES
 FOR DEVELOPMENT APPLICATION ONLY
 NOT FOR CONSTRUCTION
 You are to read in conjunction with other consultants drawings and reports.
 All work is based on latest information received from Council officials.

DATE	REVISION	TITLE	DETAIL ELEVATIONS
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

SCALE 1:100 @A3, 1:50@A1

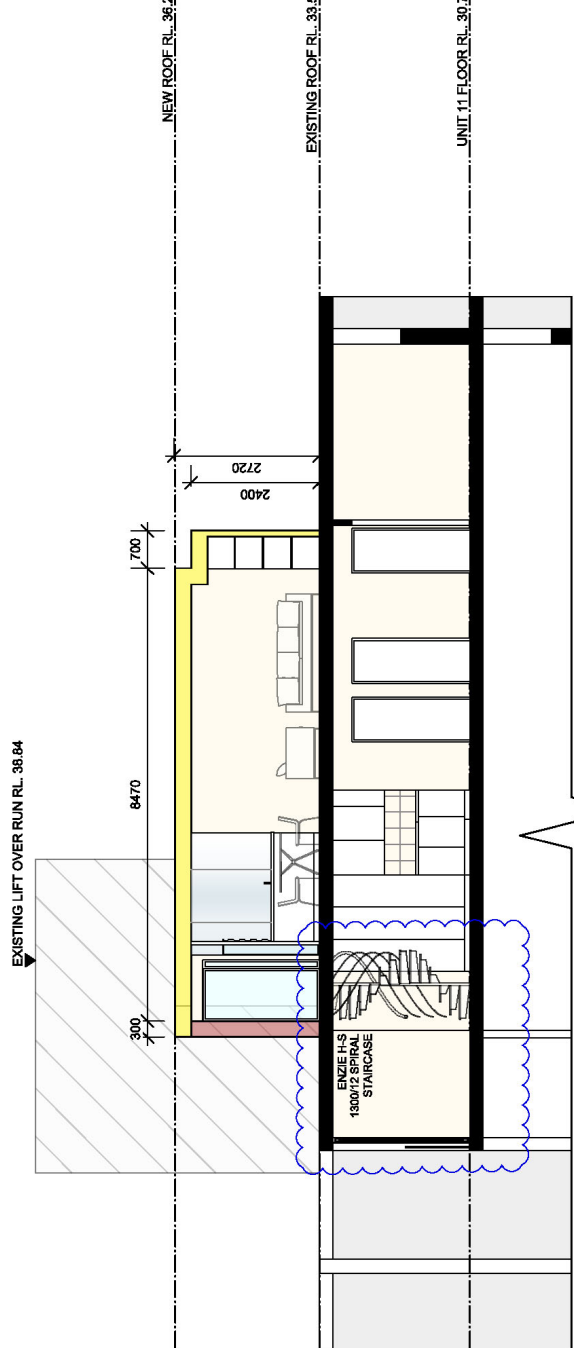
ISSUE **C**

DRAWN BY [CL/HJC]

DA 204

DA 204

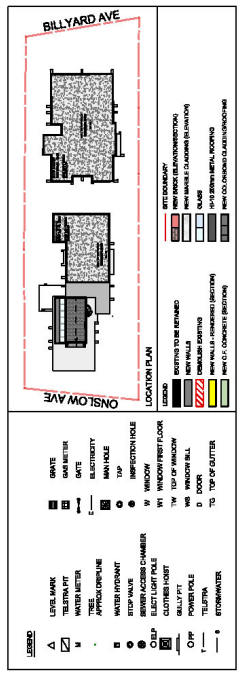
ISSUE C



SECTION A-A

EXTENT OF NEW WORKS WHICH AFFECTS AREA OF EXISTING UNIT 11 TO ONSLAW EX. ROOF LEVEL

ENCLOSURE OF EXISTING BALCONY W/ SLIDING GLASS DOORS BEHIND EXISTING GLASS BALUSTRADE.



DA	SECTION A-A	TITLE	REVISION	DATE
301	ALTS & ADDS TO EXISTING APARTMENT	PROJECT	07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)
ISSUE	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	ADDRESS	13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE
C	DEVELOPMENT APPLICATION	STAGE	22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
	MR. PATRICK LANE	CLIENT	13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
	1:100 @A3, 1:50@A1	SCALE		
		DRAWN BY		[CL/JC]

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Drawings to be read in conjunction with other consultants drawings and reports.

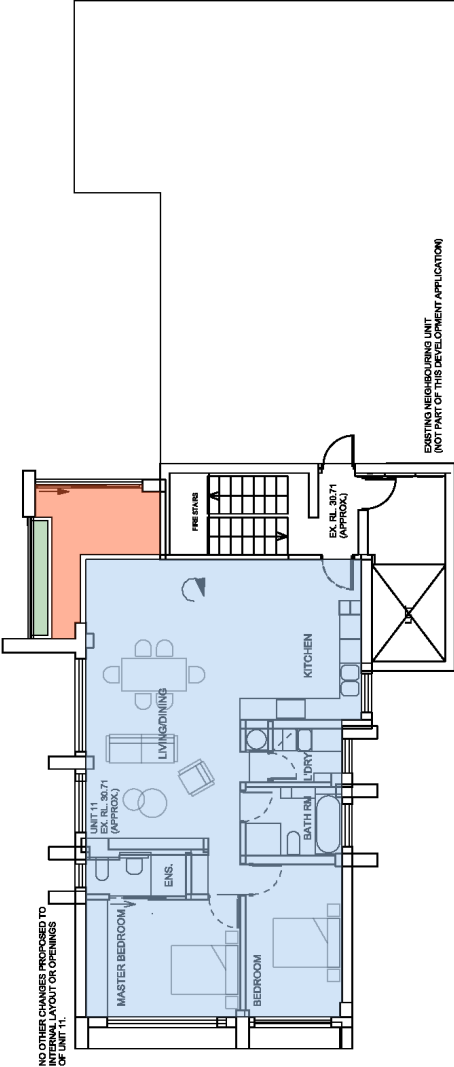
Wherever shown on these drawings, the dimensions shown are based on the latest contract form (to be used as a guide).

BASIX / MATERS CERTIFICATION

ARN 55 100 940 507 | SW101 | external louvreblind (adjustable)
Newcastle Area Council | SW102 | external louvreblind (adjustable)
NSW Architects Registration No. 5993 | NSW1 | external louvreblind (adjustable)

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CRACKNELL & LONERGAN
ARCHITECTS PTY LTD



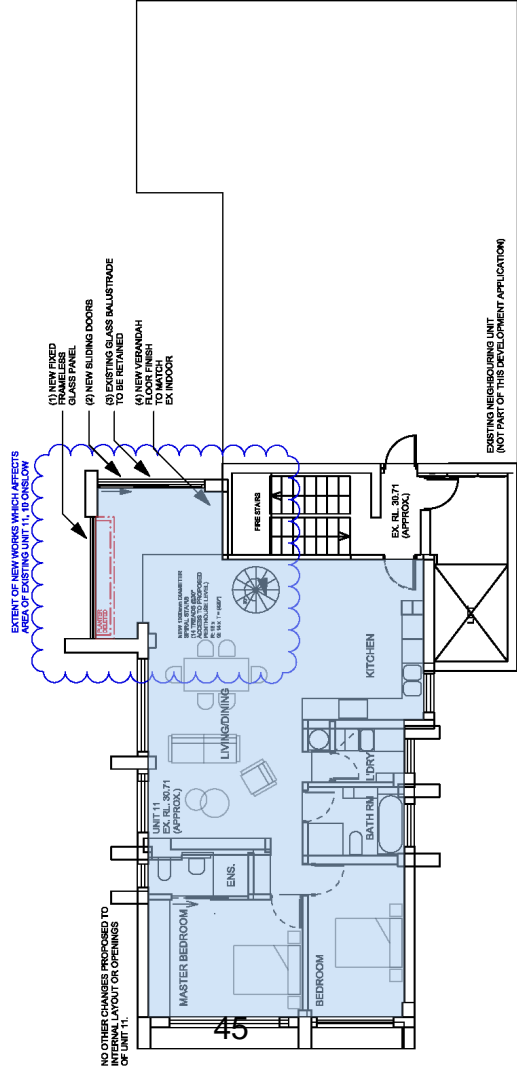
EXISTING NEIGHBOURING UNIT (NOT PART OF THIS DEVELOPMENT APPLICATION)

GROSS FLOOR AREA (GFA): 94.5 sqm

TERRACE (BALCONY): 8.1 sqm

GREEN / PLANTER: 1.3 sqm

EXISTING AREA CALCULATION



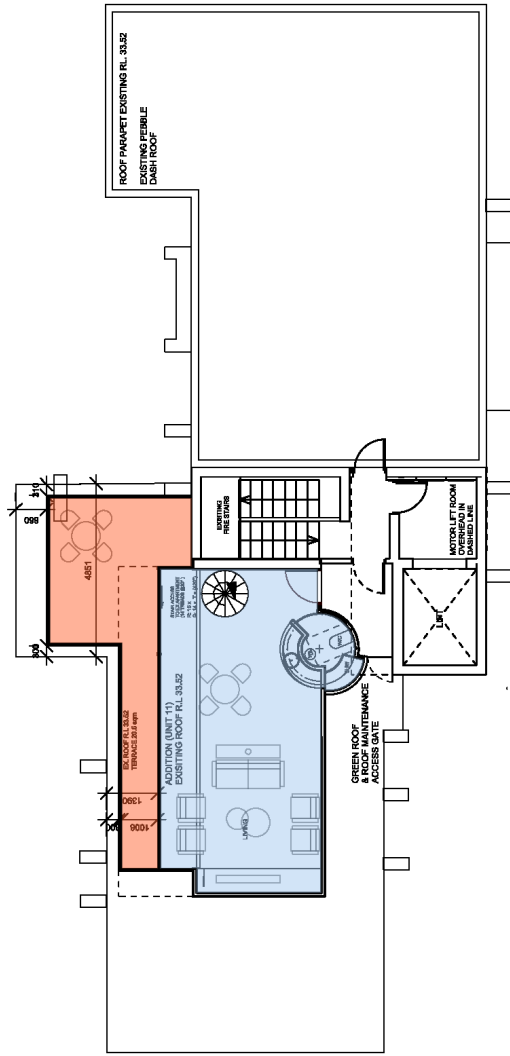
EXISTING NEIGHBOURING UNIT (NOT PART OF THIS DEVELOPMENT APPLICATION)

GROSS FLOOR AREA (GFA): 146.8 sqm

TERRACE (BALCONY): 20.5 sqm

GREEN / PLANTER: 0 sqm

PROPOSAL AREA CALCULATION



EXISTING SITE GFA (APPROXIMATION BY SURVEY/STRATA PLAN): 2942.9 sqm

EXISTING SITE AREA (BY SURVEY): 1464.0 sqm

EXISTING FSR: 2.01:1

PROPOSED ADDITIONAL GFA: 52.3 sqm

PROPOSED FSR: 2.05:1

PERMISSIBLE FSR: 4.5:1

DATE	REVISION	TITLE	AREAS CALCULATION SCHEDULE
07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE

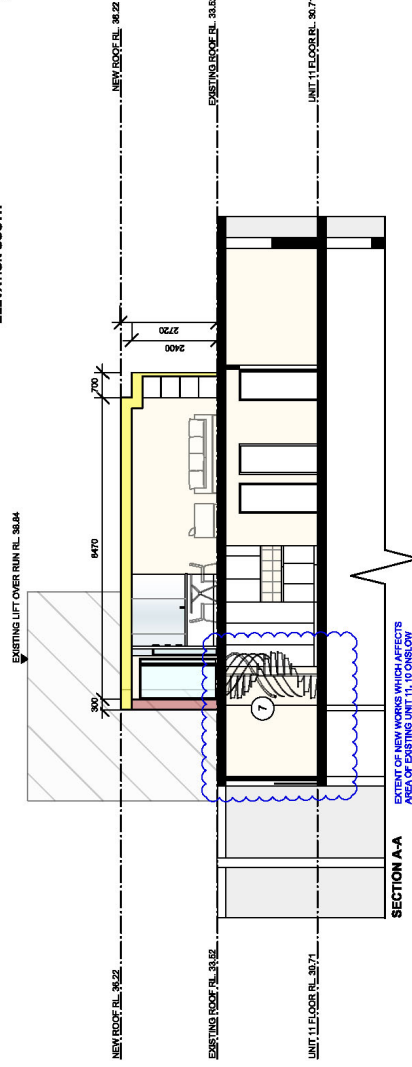
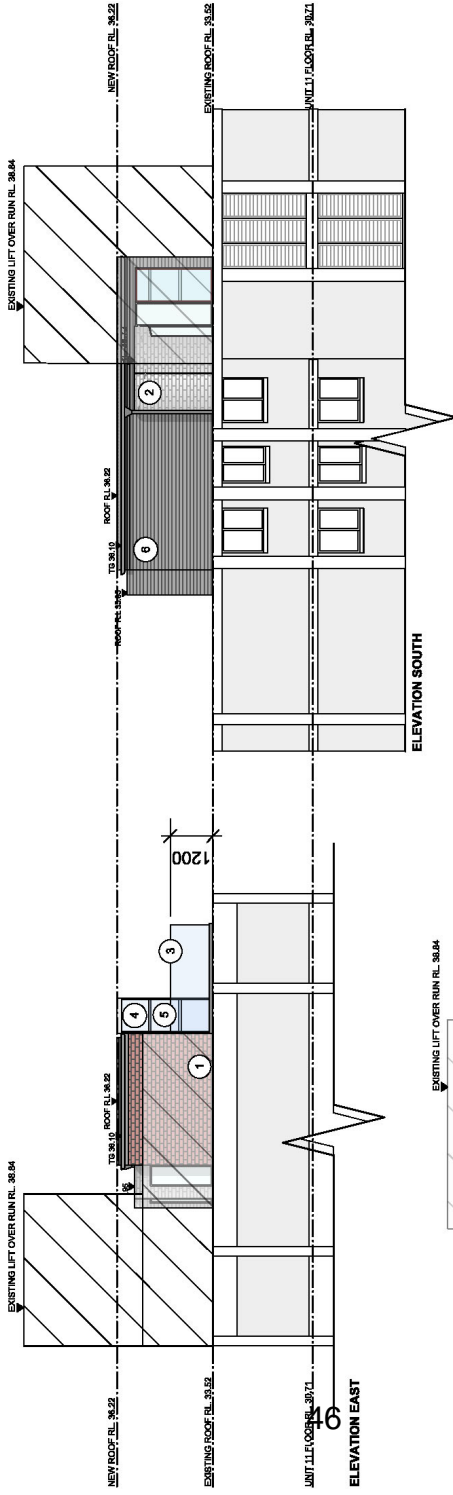
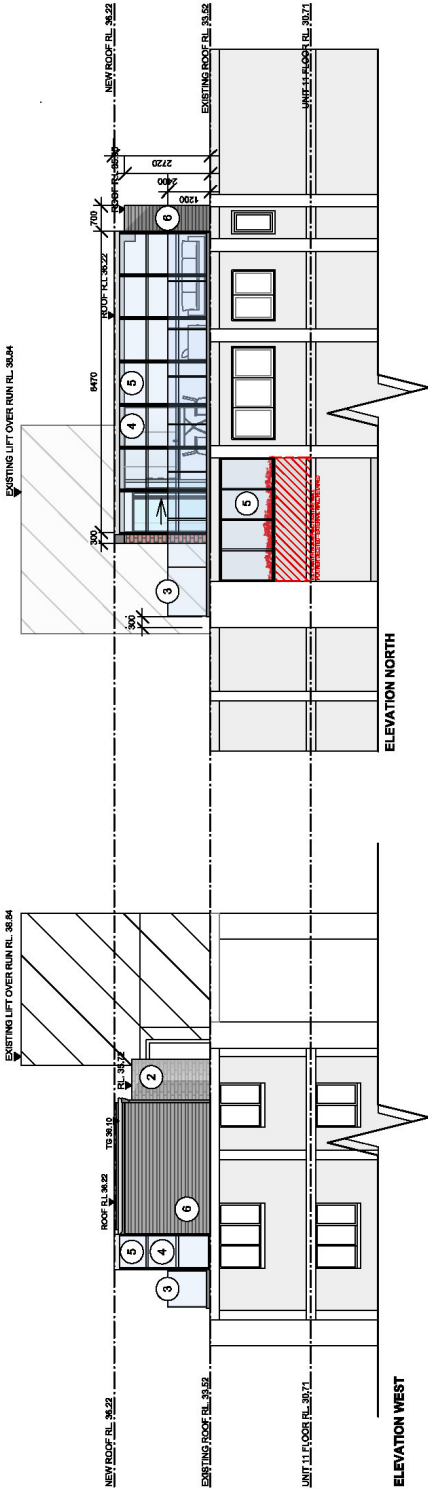
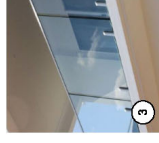
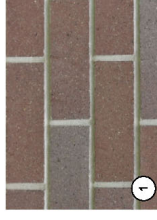
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DA	401	ISSUE	C
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ARCHITECT	CRACKNELL & LONERGAN ARCHITECTS PTY LTD	156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au	
BASIX / MATHERS CERTIFICATION	endimal louvreblind (adjustable) endimal louvreblind (adjustable) endimal louvreblind (adjustable) endimal louvreblind (adjustable)		
NOTES	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This report is to be read in conjunction with other consultants drawings and reports. Wherever based on third party information, the accuracy of such information is not guaranteed.		
DATE	07/03/2019	07/03/2019	07/03/2019
REVISION	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI
TITLE	PROJECT	ADDRESS	STAGE
AREAS CALCULATION SCHEDULE	ALTS & ADDS TO EXISTING APARTMENT	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY	DEVELOPMENT APPLICATION
EXISTING SITE GFA (APPROXIMATION BY SURVEY/STRATA PLAN):	2942.9 sqm	EXISTING SITE AREA (BY SURVEY):	1464.0 sqm
EXISTING FSR:	2.01:1	PROPOSED ADDITIONAL GFA:	52.3 sqm
PROPOSED FSR:	2.05:1	PROPOSED FSR:	2.05:1
PERMISSIBLE FSR:	4.5:1	PERMISSIBLE FSR:	4.5:1
SCALE	1:150@A3 : 1:75 @A4	DRAWN BY	[CL/JC]

MATERIAL FINISHES

- 1 EXISTING BRICK WALL**
Retain for common wall between fire stairs and penthouse extension.
- 2 TILED FACADE CLADDING**
RHEINZINK Tile System - 'pre-PATINA graphite-grey'
- 3 GLASS BALUSTRADE W/ BRUSHED STAINLESS STEEL TOP RAIL (NATURAL FINISH)**
- 4 ALUMINIUM FRAMED WINDOWS & GLASS DOORS - COLOUR TO MATCH 'WINDSPRAY' GREY CLADDING**
- 5 FRAMELESS GLASS - ANEETA SASHLESS WINDOW/DOOR**
- 6 COLORBOND METAL CLADDING AND ROOFING**
'Windspray'
- 7 SPIRAL STAIRCASE (INTERNAL)**
Enzie Spiral Staircase Classic H Series
- 8 Helioscreen System (BASIX - External Blinds)**

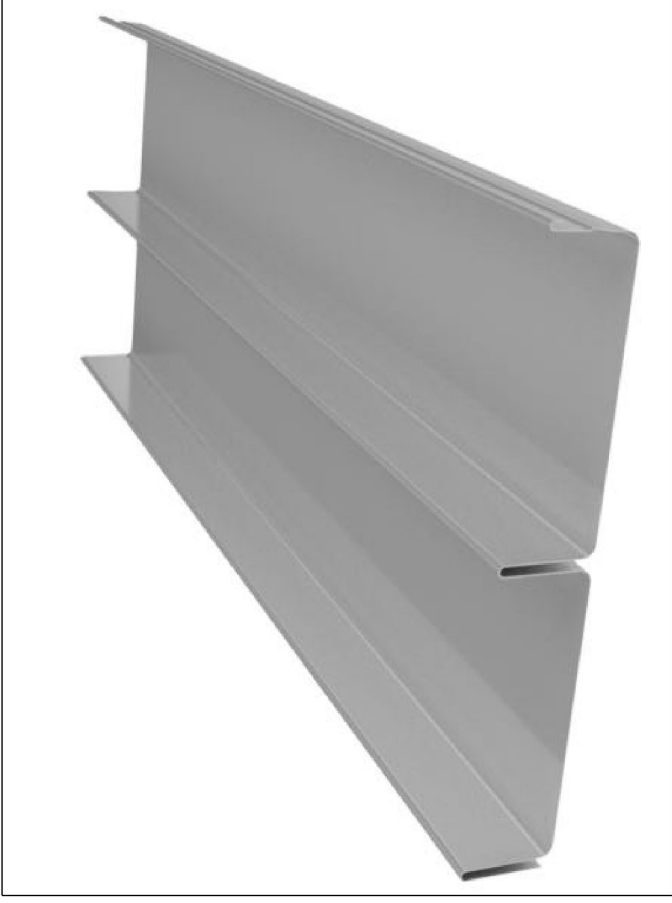
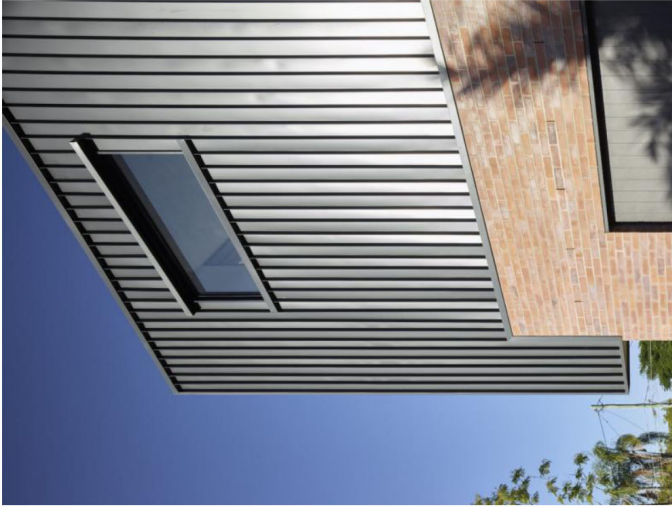


HELIOSCREEN INTEGRATED RETRACTABLE EXTERNAL BLINDS (SCREEN: TRANSLUCENT) TO COMPLY W/ BASIX SOLAR PERFORMANCE REQUIREMENTS

ARCHITECT	BASIX / MATHERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	MATERIALS & FINISHES SCHEDULE
CRACKNELL & LONERGAN ARCHITECTS PTY LTD	ARN 55 100 940 501 New South Wales NSW Architects Registration No. 5983	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This document is to be read in conjunction with other consultants drawings and reports. All other additions are located on the roof level. All other additions are located on the roof level.	07/03/2019	DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
			13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	ADDRESS	UNIT 11, 10 ONSLow AVE, ELIZABETH BAY
			22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	STAGE	DEVELOPMENT APPLICATION
			13/01/2019	DA-C DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	CLIENT	MR. PATRICK LANE
					SCALE	1:150@A3 : 1:75 @A4
					ISSUE	C
					DRAWN BY	[CLJ/HC]

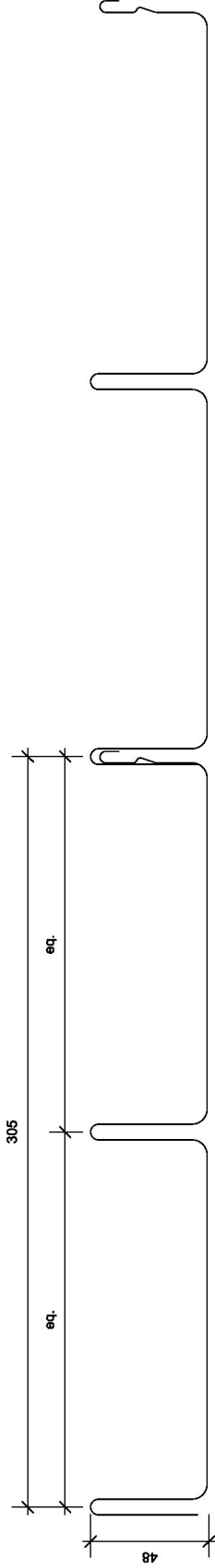


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ARCHITECTS PTY LTD
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NEW TOWN NSW 2042
PHONE +61 2 9555 1554
email@cracknellorgan.com.au



VISUAL EXAMPLES - STANDING SEAM DETAILING
 300 MM WIDE PANELS, 150 MM PROFILE
 COLORBOND STEEL - WINDSPRAY GREY

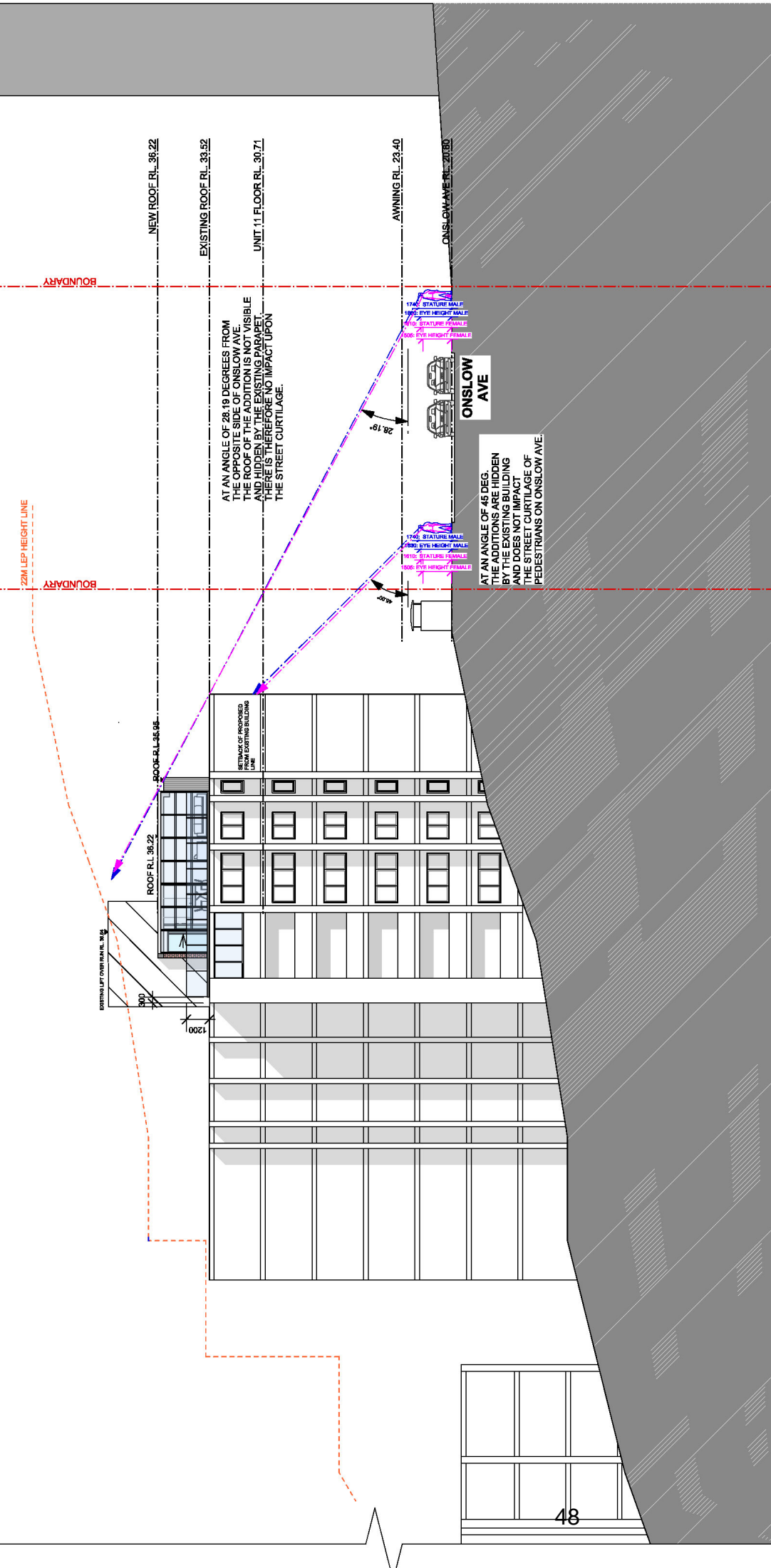
FOR COLOUR SAMPLE & REFLECTIVE INDEX,
 REFER TO PHYSICAL MATERIALS PANEL



PROPOSED STANDING SEAM STEEL PROFILE - SCALE 1:2 @ A3, 1:1 @ A1



ARCHITECT	BASIX / MATHERS CERTIFICATION	NOTES	DATE	REVISION	TITLE	MATERIALS & FINISHES - CLADDING DETAIL
CRACKNELL & LONERGAN ARCHITECTS PTY LTD 156A CHURCH STREET NEWTOWN NSW 2042 PHONE +61 2 9565 1654 email@cracknellonergan.com.au	ARB 55 100 940 501 NSW Architect Registration No. 5993	FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION This drawing is to be used in conjunction with other consultants drawings and reports. It is not to be used for any other purpose without the written consent of Cracknell & LonerGAN.	14/06/2018	DA-A SKETCH DESIGN ISSUE	PROJECT	ALTS & ADDS TO EXISTING APARTMENT
	ARB 55 100 940 501 NSW Architect Registration No. 5993		08/10/2018	DA-A SKETCH DESIGN ISSUE	ADDRESS	UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY
	ARB 55 100 940 501 NSW Architect Registration No. 5993		07/08/2019	DA-A DEVELOPMENT APPLICATION [DRAFT & CONSULTANT ISSUE]	STAGE	DEVELOPMENT APPLICATION
	ARB 55 100 940 501 NSW Architect Registration No. 5993		13/06/2019	DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE	CLIENT	MR. PATRICK LANE
			22/10/2019	DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI	SCALE	1:2 @ A3; 1:1 @A1
						ISSUE
						B
						DRAWN BY [CL/JC]



VIEW ANALYSIS DRAWING - NORTHERN ELEVATION (ONSLOW AVE)

LEGEND

- ▲ LEVEL MARK
- TELETRA PIT
- WATER METER
- WATER METER
- APPROPRIATION
- WATER PROTECT
- STAIR WALK
- BARRIER ACCESS CHAMBER
- ELECT LIGHT HOLE
- STAIR
- STAIR
- TELETRA
- STAIRWELL

LOCATION PLAN

ONSLOW AVE

BILLYARD AVE

LEGEND

- SITE BOUNDARY
- NEW WORK (RELEVANT DIMENSIONS)
- EXISTING WORK (RELEVANT DIMENSIONS)
- NEW WALLS (RELEVANT DIMENSIONS)
- NEW WALLS (EXISTING DIMENSIONS)
- NEW WALLS (CONCRETE STRUCTURE)
- NEW WALLS (CONCRETE STRUCTURE)

THE HEIGHT AND EYE LEVEL ANGLES FOR THIS DIAGRAM ARE IN ACCORDANCE WITH THE QUANTITATIVE DATA FOR THE 50TH PERCENTILE OF THE POPULATION TAKEN FROM SAA H6359-1994 (RECONFIRMED 2016) STANDARDS FOR ERGONOMICS - THE HUMAN FACTOR: A PRACTICAL APPROACH TO WORK SYSTEMS DESIGN

ARCHITECT

CRACKNELL & LONERGAN

ARCHITECTS PTY LTD

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NEWTON NSW 2042
PHONE +61 2 9565 1654
email@cracknellonergan.com.au

DATE 14/06/2018

REVISION DA-A SKETCH DESIGN ISSUE

TITLE VIEW ANALYSIS - STREET CURTLAGE

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:200 @A3, 1:100@A1

DRAWN BY [CLJ/HC]

NOTES

FOR DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Users are to be used in conjunction with other consultation drawings and reports.
Users are based on the latest contract form (to be used as a guide).

DATE 14/06/2018

REVISION DA-A SKETCH DESIGN ISSUE

TITLE VIEW ANALYSIS - STREET CURTLAGE

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:200 @A3, 1:100@A1

DRAWN BY [CLJ/HC]

DATE 06/10/2018

REVISION DA-A SKETCH DESIGN ISSUE

TITLE VIEW ANALYSIS - STREET CURTLAGE

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:200 @A3, 1:100@A1

DRAWN BY [CLJ/HC]

DATE 07/08/2019

REVISION DA-A DEVELOPMENT APPLICATION (DRAFT & CONSULTANT ISSUE)

TITLE VIEW ANALYSIS - STREET CURTLAGE

PROJECT ALTS & ADDS TO EXISTING APARTMENT

ADDRESS UNIT 11, 10 ONSLOW AVE, ELIZABETH BAY

STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:200 @A3, 1:100@A1

DRAWN BY [CLJ/HC]

DATE 13/06/2019

REVISION DA-A DEVELOPMENT APPLICATION LODGEMENT ISSUE

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STAGE DEVELOPMENT APPLICATION

CLIENT MR. PATRICK LANE

SCALE 1:200 @A3, 1:100@A1

DRAWN BY [CLJ/HC]

DATE 22/10/2019

REVISION DA-B DEVELOPMENT APPLICATION - RESPONSE TO COUNCIL RFI

TITLE VIEW ANALYSIS - STREET CURTLAGE

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STAGE DEVELOPMENT APPLICATION

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DRAWN BY [CLJ/HC]